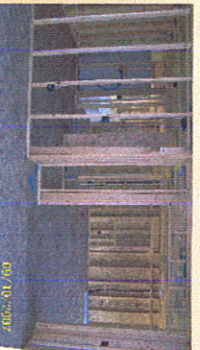


6. Foundation: Follow plans for rebar specs any foundation over 9 feet will have to have special engineering. An inspection is required at this time also, have approved plans, any engineering required and yellow inspection card.



7. Sewer and Water: Dig lines for sewer, power, and water, hook up water and sewer to city connections and run conduit for power lines and call for inspections, and as for all inspections have approved plans and yellow inspection card on site. (there will be a \$100 fine without them) Don't forget Blue Stakes.



8. Backfill and grading: Water proof or damp proof as needed. put on window wells, and drainage system if needed and backfill.

9. Sub rough plumbing: if you have a basement have rough plumbing installed. Inspection required (remember paperwork).

10. Framing: Begin framing. Follow plan. make sure beams, trusses, straps, and any other engineering are according to Plans.

11. Rough plumbing: Certified licensed plumber recommended.

12. Rough Mechanical: Heating, A.C. duct work and appliances installed. Licensed contractor recommended. This contractor should install gas line also.

13. Rough Electrical: Again licensed Electrician recommended.

All Central Vacuum systems, Bathroom vents, low voltage lines (speaker wires, alarm systems, etc.) fireplaces, etc. should be installed at this time. Also Dry in home and install roof vents. Then install doors and windows. (these items must be complete before four way inspection).



14. Four way inspection (framing, mechanical, plumbing, electrical and all the mentioned items):

Call for inspection (again all paperwork needed on site, including truss specifications). Also at this time the inspector will inspect Shear walls, and Gas pipes. And he will let you know if you can insulate.

15. Insulation inspection (Energy Code): Call when insulation complete (remember paperwork).

16. Sheetrock: Sheetrock home especially under stairways. Call for inspection before you mud and tape. (paperwork).

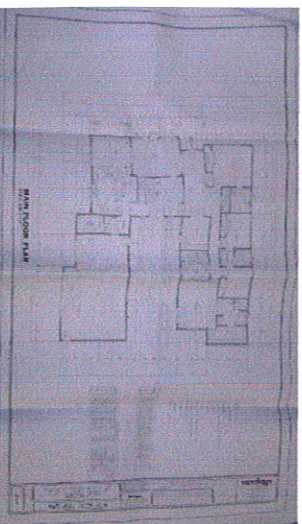
17. Snucco lath: Inspection needed before brown coat. (paperwork)

18. Final: Complete all finish items: Floorings, baseboard, plumbing, (sinks, toilets, tubs, etc.) electrical (light fixtures, outlets and make sure that there are cover plates on all open boxes including low voltage items)



Steps in Building a House

- 1. Financing:** Make sure you have construction loan and long term financing approved for your home.
- 2. Subdivision and Lot:** Choose an area where you would like to build. We highly recommend hiring a Contractor at this point. A contractor can help with all of the following steps.
- 3. Plans:** Depending on the subdivision the developer may have specific requirements and covenants for that subdivision. Then find a plan that will fit on the lot and also comply with area covenants. Another option is to hire an Architect to design a home for you. Make around 10 copies of your plan.
- 4.** If you decide to be an Owner Builder then get estimates from all of the sub trades needed to complete the job.



- 5. Submit Permit:** Things needed for Permit:
 - a. 1 full set of folded plans (24" X 18") showing:
 - Elevations
 - Floor Plan
 - Cross section /detail
 - Foundation/Footing
 - Electrical/Plumbing/Mechanical
 - Meterbase location and amperage of service along with breaker panel location
 - 2 sets of fire sprinkler plans when required
 - b. One Plot Plan on 8 1/2 X 11 paper with dimensions from property line to building (set backs). Stamped by the A.R.C. where applicable.
 - c. Two RES checks for Residential, (Insulation requirements where applicable).
 - d. Engineering/Architect Certification (when applicable) showing:
 - Wind Load Design
 - Geotechnical Report (when Applicable)
 - Truss Specs
 - e. Two Gas piping diagrams on 8 1/2 X 11 paper showing BTU,s for each appliance; and footage.
 - f. Complete Building Permit Application.
 - g. Hold Harmless Agreement



Getting Organized: Things to get in place and scheduled:

- 1. Surveyor:** Make sure of property lines and placement of the home.
- 2. Check sewer, water table levels and soils engineering to see how deep you can place the footings. Frost levels are at 30" footings have to be below this level.**
- 3. Excavator:** Lay out corners of home and make sure excavator knows how deep and how house is placed on the property. Make sure you follow soils report if a drainage system or compacted fill is needed. If your property has a slope, make sure you have engineering to hold it in place (retaining walls) if necessary.
- 4. Temporary Power:** Contact the building department about what you will need to set up temp power and schedule hook up.
- 5. Footings:** Check engineered plan for width, depth and rebar specifications. All footings have to have forms, Lehi City does not allow shovel footings. Footings will be the first item that will need to have an inspection from the Building Department. You will need to have all paperwork (Soils report, Approved plans, Plot plan, and yellow inspection card) on site for this inspection.

